



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
<http://www.ci.sanbruno.ca.us>

STAFF

Tambri Heyden, AICP, *Community Development Director*
Mark Sullivan, AICP *Housing and Redevelopment Manager*
Aaron Akin, AICP, *Planning Manager*
Beilin Yu, *Associate Planner*
Tony Rozzi, *Assistant Planner*
Lisa Costa Sanders, *Contract Planner*
Pamela Thompson, *City Attorney*

PLANNING COMMISSION

Sujendra Mishra, *Chair*
Rick Biasotti, *Vice-Chair*
Mary Lou Johnson
Bob Marshall, Jr.
Perry Petersen
Kevin Chase
Joe Sammut

**ARCHITECTURAL REVIEW COMMITTEE
STAFF REPORT
AGENDA ITEM NO. 1
February 16, 2006**

PROJECT LOCATION

1. Address: 849 Second Avenue
2. Assessor's Parcel No: 020-188-380
3. Zoning District: R-1 (Single Family Residential District)
4. General Plan Classification: Low Density Residential
5. Property is within San Bruno Redevelopment Area

EXHIBITS

- A:** Site Location
B: Site Plan, Floor Plans, and Elevations

REQUEST

Request for a Use Permit to allow the construction of a new residence which exceeds the 44% lot coverage and the .55 floor area ratio guideline and a Parking Exception to allow tandem parking, per Sections 12.200.030.A.1, 12.200.030.A.2, and 12.200.080.C of the San Bruno Zoning Ordinance. Rommel Mendez (Applicant); Sunil Chand (Owner). **UP-05-68, PE-05-11**

PROJECT INFORMATION

- 2,875 sq. ft. substandard (less than 5,000 square feet) rectangular lot with an existing 400 square foot one-story single-family home.
- Existing home has no garage. Applicant is proposing to construct a two-car tandem garage.
- The proposal includes the demolition of the existing 400 square foot residence and the construction of a new 2,016 square foot two-story residence, including a two-car garage.
- If approved and constructed this would be a 3-bedroom, 2-bathroom home.
- The first floor will include the two-car tandem garage, a receiving room (foyer), the kitchen, dining room, living room, two bedrooms, and a bathroom. The second floor will include the master bedroom, and bathroom.

RECOMMENDATION:

- Staff finds that the proposed two-story structure will blend in well with the existing neighborhood character since the design includes many attributes found within the neighborhood and is of the same size and mass as many neighboring homes.
- The replacement of an outdated small residence with a home more suitable to today's needs is consistent with the San Bruno Redevelopment Plan.
- The proposed structure will improve the parking situation since the existing residence does not contain any off-street parking and the proposal includes two off-street parking spaces.
- Applicant shall submit a color and material sample to the Planning Division prior to the Planning Commission meeting.
- Applicant shall add the height of the existing structure in the Planning Commission set of plans.

Site Conditions		Zoning Requirements	Existing Conditions	Proposed Conditions
Land Use		R-1, Single Family Res.	R-1, Single Family Res.	Same
Lot Area Min.		5,000	2,875	Same
Adjustment Factor		1.0	1.16	Same
Adjusted Lot Area		5,000	3,335	Same
Lot Coverage		1,467.4*	400	1,559
Lot Coverage %		44%	12%	47%
Gross Floor Area		1,834.25*	400	2,016
Floor Area Ratio		0.55	.12	.60
Building Setbacks	Front	15'	34'	20'
	Rear	10'	61'	10'
	South Side	3'	3'	3'
	North Side	3'	3'	3'
Building Height		28'	14'	25'
Covered Parking		2 covered space	0 covered spaces	2 covered space

***Notes:**

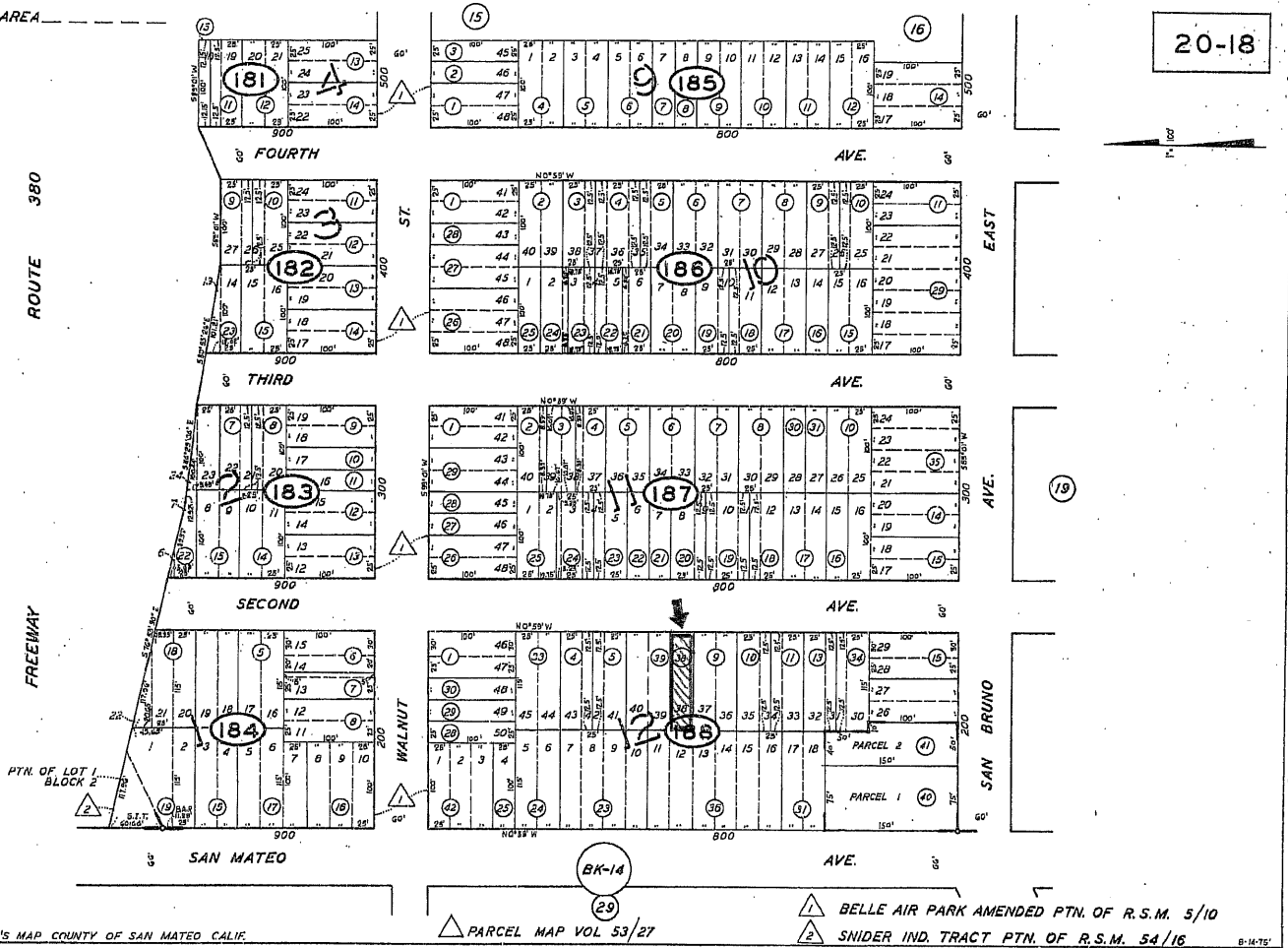
- Lot Coverage and Floor Area Ratio calculations are based on the adjusted lot area (2,875 square feet).
- Lot Coverage calculation includes a proposed 56 square foot front porch.

Square Footage Breakdown:

	First floor	Second Floor	Garage	Total
Existing	400	-	-	400
Proposed	667.25	513	435.75	1,616
Total	1,067.25	513	435.75	2,016

TAX CODE AREA _____

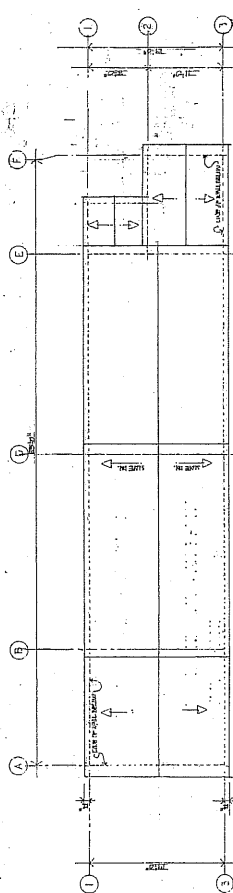
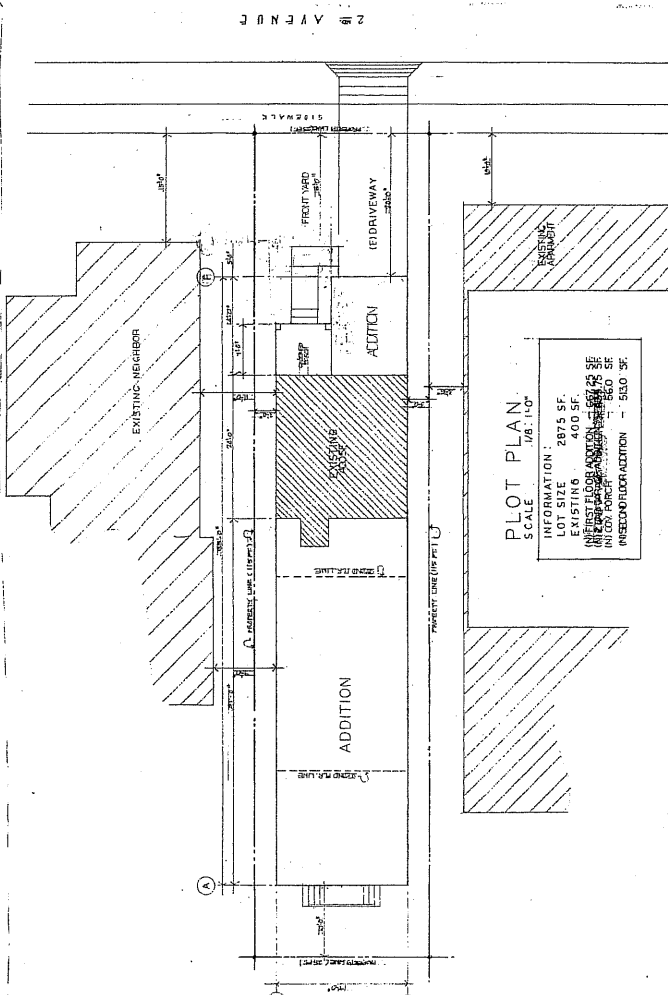
20-18



849 Second Avenue
020-188-380
UP-05-68, PE-05-11

Figure 1. The effect of the concentration of the *Agrobacterium* suspension on the transformation efficiency of *Agrobacterium* strains. The concentration of the *Agrobacterium* suspension was 10⁶ cells/ml (○), 10⁷ cells/ml (□), 10⁸ cells/ml (△), and 10⁹ cells/ml (◇). The error bars represent the standard deviation of three independent experiments.

100

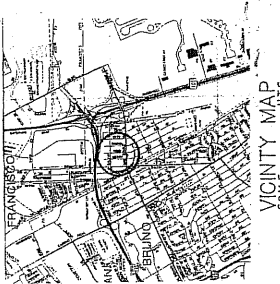


ROOF PLAN
SCALE 1/8"=1'-0"

LOT PLAN.

SCALE 1/8" = 1'-0"

INFORMATION:		
LOT SIZE	2875 SF.	
EXISTING	400 SF.	
IN FIRST FLOOR ADDITION - 667.25 SF.		
IN 2ND FLOOR ADDITION - 667.75 SF.		
IN COV. PORCH - 56.0 SF.		

[illegible][illegible]

ADDITION AND RENOVATION

OWNER
LOCATION
PROJECT

DRAWN	SEPT. 20, 2005
DATE	

SCALE AS SHOWN

SHEET NUMBER

SHEET NUMBER	
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4

51

11

10

115

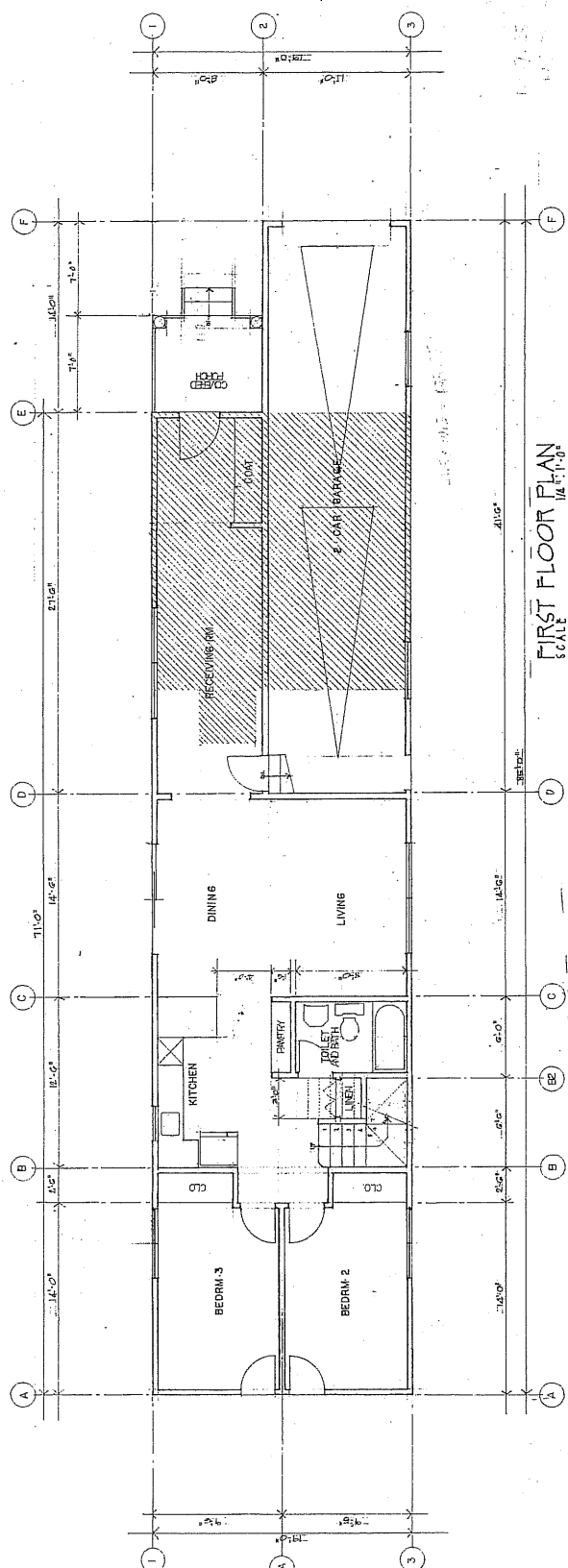
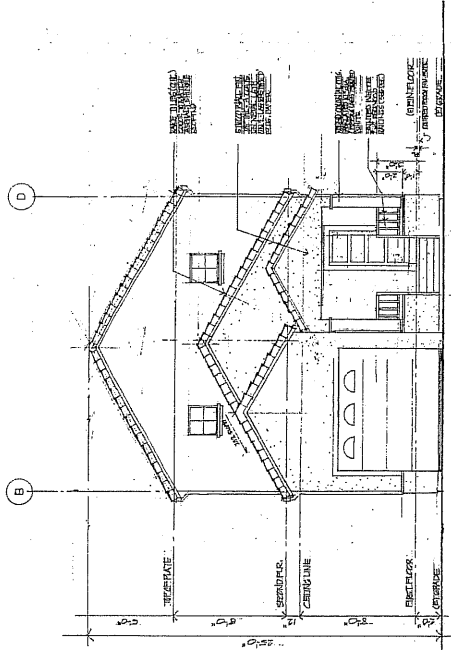
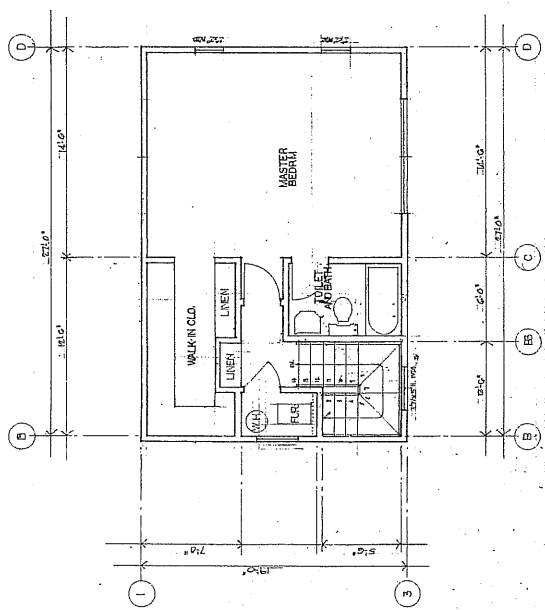
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1

1

PROJECT	ADDITION AND RENOVATION
OWNER	SUMIL CHAND
LOCATION	849 SECOND AVE. SAN BRUNO
DATE	SEP 23 2005
SCALE	AS SHOWN
SHEET NUMBER	2

PROJECT & ADDRESS
 4000 10th Ave.
 San Bruno, CA 94066
 TEL: (650) 737-9298
 FAX: (650) 737-9299
 WWW: www.mhmc.com



3

SHEET NUMBER:

SCALE

DRAWN

DATE: SEP 20, 2005

PROJECT: ADDITION AND RENOVATION

LOCATION: 849 SECOND AVE., SAN BRUNO CALIF.

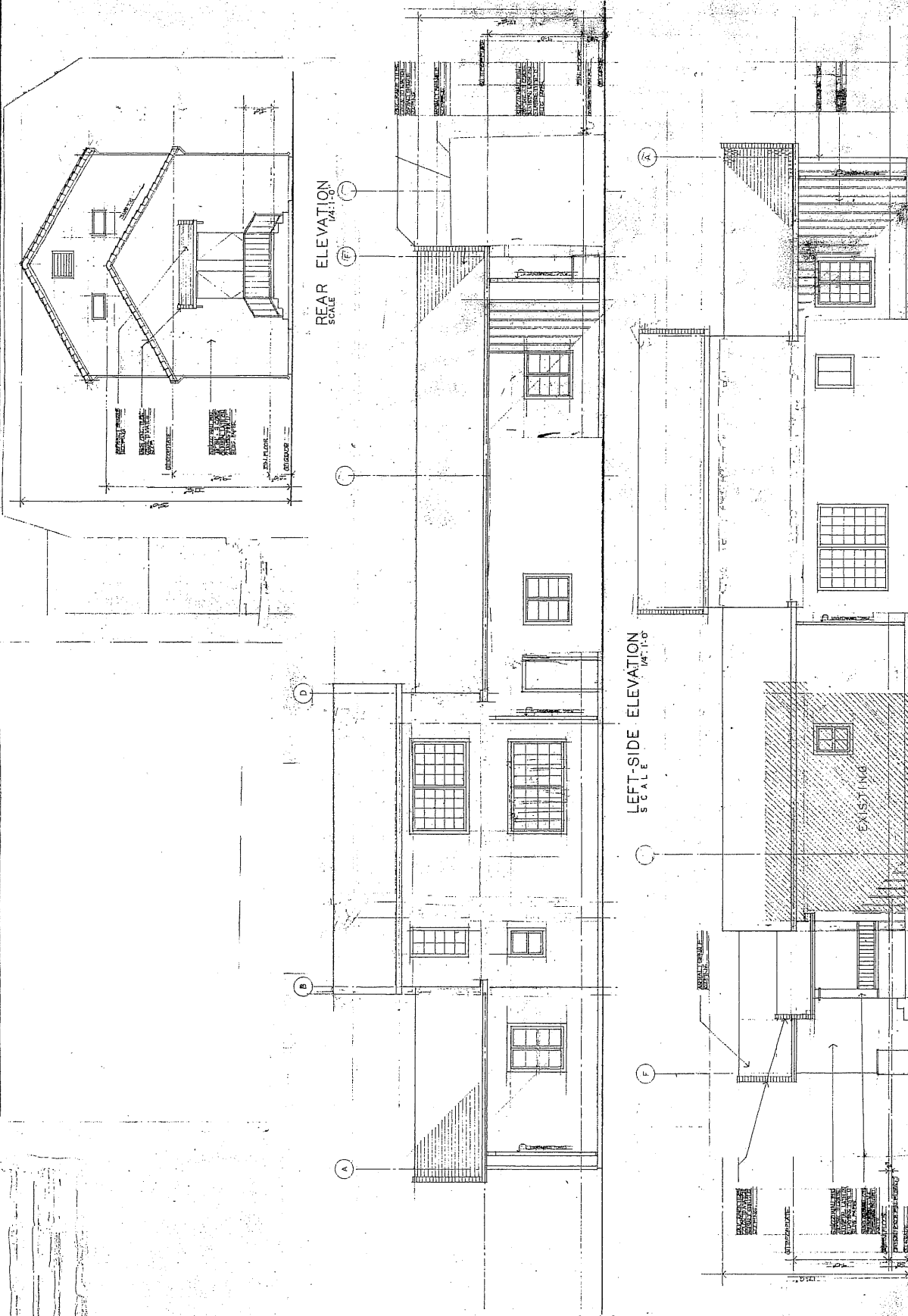
OWNER: SUMIL CHAND



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

LEFT-SIDE ELEVATION
SCALE 1/4" = 1'-0"

REAR ELEVATION
SCALE 1/4" = 1'-0"



CITY OF SAN BRUNO

COMMUNITY DEVELOPMENT DEPARTMENT



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ARCHITECTURAL REVIEW COMMITTEE MEETING

TO: Joe Sammut
 Kevin Chase
 Rick Biasotti
 Architectural Review Committee

FROM: Tambri Heyden, Community Development Director

The Architectural Review Committee will meet **Thursday, February 16, 2006, at 6:00 P.M. in Conference Room 101 at 567 El Camino Real, San Bruno, CA.** Applicants, designers, developers, and property owners are invited to attend. Please wait in the lobby until your case is called. The following items will be discussed:

* – A complete staff report will be prepared for this item when it goes before the Planning Commission for review.

1.	*849 Second Avenue (UP-05-68, PE-05-11) <u>Environmental Determination:</u> Categorical Exemption <u>Zoning:</u> R-1 (Single Family Residential)	Request for a Use Permit to allow the construction of a new residence which exceeds the 44% Lot Coverage and the .55 Floor Area Ratio guideline and a Parking Exception to allow tandem parking, per Sections 12.200.030.A.1, 12.200.030.A.2, and 12.200.080.C of the San Bruno Zoning Ordinance. Rommel Mendez (Applicant); Sunil Chand (Owner). UP-05-68, PE-05-11
2.	*316 Elm Avenue (UP-05-77) <u>Environmental Determination:</u> Categorical Exemption <u>Zoning:</u> R-1 (Single Family Residential)	Request for a Use Permit to allow the construction of an addition to an existing residence which exceeds the .55 Floor Area Ratio and the 44% Lot Coverage guidelines per Section 12.200.030.B.2 and 12.200.030.B.3 of the San Bruno Zoning Ordinance. Gabriel F. Canaya (Applicant / Owner). UP-05-77

3.	414 San Mateo Avenue (AR-05-11) <u>Environmental Determination:</u> Categorical Exemption <u>Zoning:</u> C-B-D (Central Business District)	Request for an Architectural Review Permit to demolish the existing restaurant structure and construct a new restaurant structure per Section 12.108 of the San Bruno Zoning Ordinance. Michelle Chee (Applicant/Owner). AR-05-11
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Note: If you challenge the above actions in court you may be limited to raising only those issues you or someone else raised at the public hearing described in this agenda, or in written correspondence delivered to the Architectural Review Committee at, or prior to, the public hearing.



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**ARCHITECTURAL REVIEW COMMITTEE
STAFF REPORT
AGENDA ITEM NO. 2
February 16, 2006**

PROJECT LOCATION

1. Address: 316 Elm Avenue
2. Assessor's Parcel No: 020-291-140
3. Zoning District: R-1 (Single Family Residential District)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A:** Site Location
B: Site Plan, Floor Plans, and Elevations

REQUEST

Request for a Use Permit to allow the construction of an addition to an existing residence which exceeds the .55 Floor Area Ratio and the 44% Lot Coverage guidelines per Section 12.200.030.B.2 and 12.200.030.B.3 of the San Bruno Zoning Ordinance. Gabriel F. Canaya (Applicant / Owner). **UP-05-77**

PROJECT INFORMATION

- 5,000 sq. ft. rectangular lot with an existing two-story single-family home and storage.
- Existing home has two-car tandem garage. No additional garage space is proposed.
- The proposal only includes the approval of a previously constructed 182.5 square foot shed attached to the east side of the existing residence. This addition is not accessible from the interior floor plan.
- The addition does not increase the number of bedrooms. The existing residence is a 3-bedroom, 2-bathroom home.

RECOMMENDATION:

- Applicant shall submit a color and material sample to the Planning Division prior to the Planning Commission meeting.
- Staff finds that the addition is minor and will not increase the apparent bulk of the home. Furthermore, the designer has incorporated matching finished materials, which helps the small

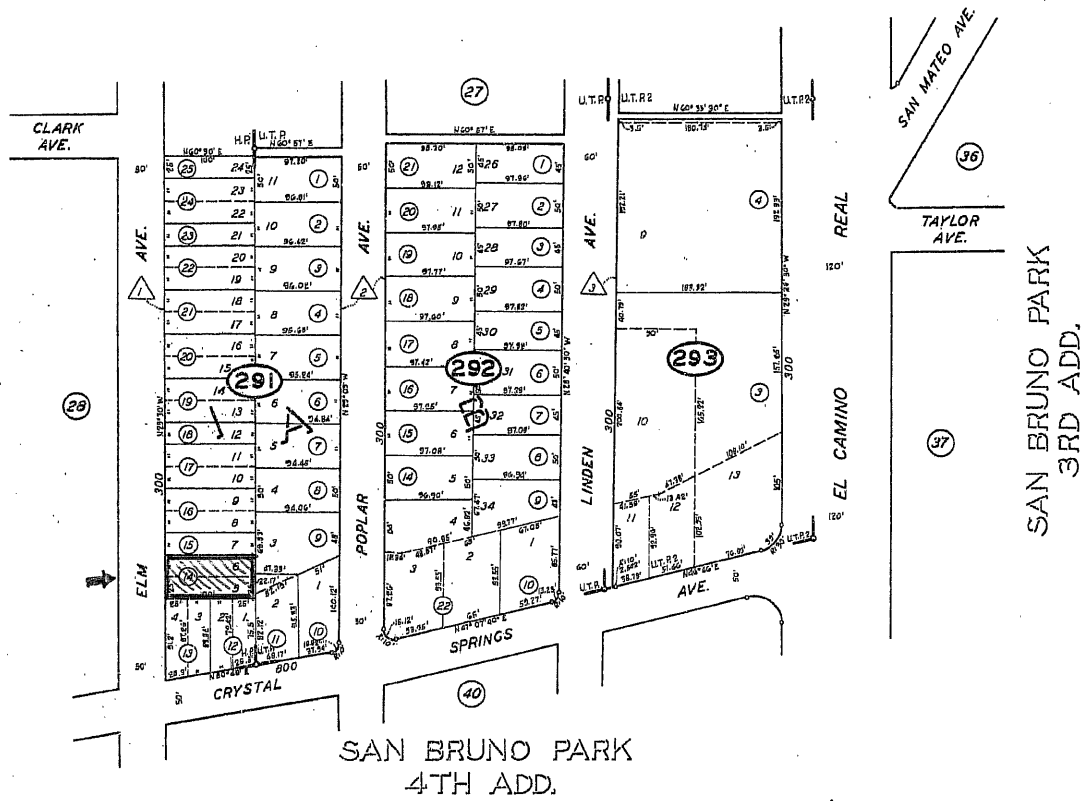
addition blend into the existing residence.

- A condition of approval will be added to staff's recommendation prohibiting the use of this area for living and sleeping. This area can only be accessed from the exterior and shall be used for storage.

Site Conditions		Zoning Requirements	Existing Conditions	Proposed Conditions
Land Use		R-1, Single Family Res.	R-1, Single Family Res.	Same
Lot Area Min.		5,000	5,000	Same
Adjustment Factor		1.0	1.0	Same
Adjusted Lot Area		5,000	5,000	Same
Lot Coverage		2,200	2,387	2,570.5
Lot Coverage %		44%	48%	51%
Gross Floor Area		2,750	2,875	3,057.5
Floor Area Ratio		0.55	.58	.61
Building Setbacks	Front	15'	13'	13'
	Rear	10'	22'-6"	22'-6"
	South Side	5'	8'	5'
	North Side	5'	5'	5'
Building Height		28'	21'-3"	21'-3"
Covered Parking		2 covered space	2 covered spaces	2 covered space

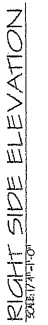
Square Footage Breakdown:

	First floor	Second Floor	Storage	Garage	Total
Existing	1776	488	184	427	2,875
Proposed	182.5	-	-	-	182.5
Total	1958.5	488	184	427	3,057.5



- 1 HUNTINGTON PARK PTN. OF R.S.M. 5/9
 2 UNCLE TOM'S PARK PTN. OF R.S.M. 22/34
 3 UNCLE TOM'S PARK NO. 2 PTN. OF R.S.M. 22/41

316 Elm Avenue
 020-291-140
 UP-05-77





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**ARCHITECTURAL REVIEW COMMITTEE
STAFF REPORT
AGENDA ITEM NO. 3
February 16, 2006**

PROJECT LOCATION

1. Address: 414 San Mateo Avenue
2. Assessor's Parcel No.: 020-364-120
3. Zoning District: C-B-D (Central Business District)
4. General Plan Classification: Neighborhood/Community Commercial
5. Project is within the San Bruno Redevelopment Project Area

EXHIBITS

- A:** Location Map
B: Site Plan, Floor Plan, Elevations
C: Applicable Pages From Downtown Design Guidelines

REQUEST

Request for an Architectural Review Permit to demolish the existing restaurant structure and construct a new restaurant structure per Section 12.108 of the San Bruno Zoning Ordinance. Michelle Chee (Applicant/Owner). **AR-05-11**

RECOMMENDATION

Staff recommends that the Architectural Review Committee **approve** Architectural Review Permit 05-11 subject to the attached Findings of Fact (1-8) and Conditions of Approval (1-29).

REVIEWING AGENCIES

Public Works Department
Community Development Department
Fire Department
San Bruno Garbage

PUBLIC NOTICE

Agenda posted in San Bruno City Hall.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301: Existing Facilities.

EXISTING SITE CONDITIONS

The subject property is located on the east side of San Mateo Avenue, one property north of the El Camino Real and San Mateo Avenue intersection. Currently this property is developed with a one story, 1,580 sq. ft. restaurant building. Although there is an outside area to the rear of the building, there are no designated parking spaces onsite. The subject property is surrounded by other private properties and therefore vehicle access to the rear yard is not available.

SURROUNDING LAND USES

North: Sylvan Avenue – CBD (Central Business District)
South: Taylor Avenue – CBD (Central Business District)
East: Mastick Avenue – R-2 (Low Density Residential)
West: El Camino Real – C (General Commercial)

PROJECT DESCRIPTION

The applicant is proposing to demolish the existing building and construct a new 1,580 sq. ft. restaurant building, with a 525 square foot mezzanine, for storage and a mechanical room. The proposed site plan also includes landscaping, a dumpster area, and concrete paving in the rear.

Architecturally, the new building would incorporate many features recommended in the Downtown Design Guidelines, while having a new interesting architectural style.

PARKING

As mentioned, there are no designated parking spaces currently on-site. This is consistent with a majority of retail buildings in the Central Business District which paid into the parking assessment district in past decades. Therefore, the property owner is only responsible for providing parking for the expanded portion of the building, not the existing square footage. In this case, the new building will not be larger than the existing building, therefore no on-site parking spaces are required to be provided.

PROJECT ANALYSIS

Proposed new buildings in the Downtown commercial area must comply with the City of San Bruno Downtown Design Guidelines.

This project will be compatible with the character of Downtown San Bruno because the proposed façade maintains a 25-foot storefront avoiding a long expanse of inactive building frontage, and provides a suitable store entrance facing directly onto the street with large transparent display windows.

The building also includes several architectural features which are consistent with the Downtown Design Guidelines. The storefront is separated from the upper portion of the building by horizontal devices with a change in the finished material from brick veneer to cement plaster.

The other consistent features include a cornice, wide structural columns, and a tile base, adding an architectural treatment where the building meets the ground.

The applicant is also adding a clerestory window to create a pleasing scale to the storefront, and to add natural light to the interior as well as flower boxes to the storefront to add interest to the

pedestrian friendly environment. Staff finds that the architectural design of the building would be a great improvement to the existing building and would be compatible with other buildings in the area.

Staff recommends the Architectural Review Committee approve the Architectural Review Permit for the following reasons:

- Approval of this proposal will allow for the demolition of an existing outdated, deteriorated and unattractive building. The redevelopment of this site will add a new restaurant space in the Central Business District. Demolition of outdated buildings and construction of new buildings is consistent with the San Bruno Redevelopment Plan and General Plan.
- The new structure is not required to provide additional parking spaces on site, and therefore no-off street parking is being proposed and lack of additional parking will not create a hazardous or inconvenient condition to adjacent and surrounding uses.
- The applicant is proposing landscaping in the rear yard breaking up large expanses of paved areas.
- The proposed structure will not interfere with the light and air on the property or other properties in the neighborhood since the adjacent structure to the south is a two story building and the proposed structure will not extend closer to the rear yard than the existing structure to the north. The structure will be consistent with the design and scale of the neighborhood since there are other two story structures on the 400 block of San Mateo Avenue.
- The improvement of this commercial structure will not be detrimental to the character of the adjacent neighborhood to the east since the property adjacent to the east is a parking lot, which serves as a buffer and since the adjacent neighborhood to the parking lot is a low density residential with single and multi family residences.
- The subject property does not contain any natural features such as trees, shrubs, and natural corridor and the subject property is already graded for development.
- The architect has designed the building in a manner consistent with the Downtown Design Guidelines. This well designed building will help to improve the appearance of the immediate area and will be a good architectural example for the redevelopment of other buildings in the Central Business District.
- Construction of the new restaurant building in the Central Business District is consistent with the San Bruno Redevelopment Plan and General Plan.

FINDINGS OF FACT

1. That the location, size and intensity of the proposed operation will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern, taking into account the proposed use as compared with the general character and intensity of the neighborhood;
2. That the accessibility of off-street parking areas and the relation of parking areas with respect

to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding uses;

3. That sufficient landscape areas have been reserved for the purposes of separating or screening service and storage areas from the street and adjoining building sites, breaking up large expanses of paved areas, and separating or screening parking areas from the street and adjoining building areas from paved areas and to provide access from buildings to open areas. In addition, that adequate guarantees are made, such as the filing of a performance bond, to insure maintenance of landscaped areas;
4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood;
5. That the improvement of any commercial or industrial structure, as shown on the elevations as submitted, is not detrimental to the character or value of an adjacent residential district;
6. That the proposed development will not excessively damage or destroy natural features, including trees, shrubs, creeks and rocks, scenic corridors, and the natural grade of the site;
7. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood;
8. That the proposed development is consistent with the General Plan and Redevelopment Plan.

CONDITIONS OF APPROVAL

Community Development

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the "Architectural Review Meeting Minutes" to Community Development Department within 30 days of approval. Until such time as the Summary is filed, Architectural Review Permit 05-11 shall not be valid for any purpose. The AR permit shall expire one (1) year from the date of approval unless the plan is executed.
2. The proposal for construction of a new building at 414 San Mateo Avenue shall be built according to the plans accompanying this report and approved by the Architectural Review Committee on February 16, 2006, except as required to be modified by these conditions of approval. Any modification to the approved plans shall require prior review and approval by the Community Development Director.
3. The applicant shall obtain a City building permit before construction can proceed.
4. All trash and debris to the rear of the store shall be cleaned up within 10 days of this approval.

5. All signs shall be reviewed by the Community Development Department. A sign permit shall be obtained prior to the installation of any signs. The sign plan shall include address numbers per Fire Department requirements.
6. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City.
7. The property owner shall conduct regular maintenance of the site to maintain the premises and remove accumulation of litter and debris.
8. The property owner shall comply with the requirements of the San Bruno Recycling Ordinance.
9. All trash and trash containers shall be stored within appropriate designated trash areas. Sufficient trash container capacity shall be provided to ensure that all trash and debris from the building can be stored within the trash container area and with completely closed lids.
10. The proposed mezzanine shall not be used for seating or office space. The mezzanine can only be used for storage and mechanical equipment location.
11. Non-combustive material shall substitute proposed vinyl throughout.

Public Works Department

12. Applicant must install sanitary sewer clean-out at property line per City standards detail SS-01.
13. Storm water from new and existing roof downspouts and other onsite drainage shall be collected and drained to an underground curb drain to the gutter per City standards.
14. Planting of one (1) 36-inch box size tree or payment of equal value to tree fund for tree(s) and installation.
15. Applicant must install approved backflow device for domestic, irrigation and fire water lines.

Fire Department

16. Provide NFPA 13 Fire sprinkler System per SBMC Section 12.24.070 Article 1003.2.1.
17. Calculate fire flow requirements for building.
18. Obtain fire flow available within 200' of building.
19. Determine seating plan and occupancy load.
20. Provide kitchen detail for cooking appliances.
21. Provide non-combustible exterior siding.

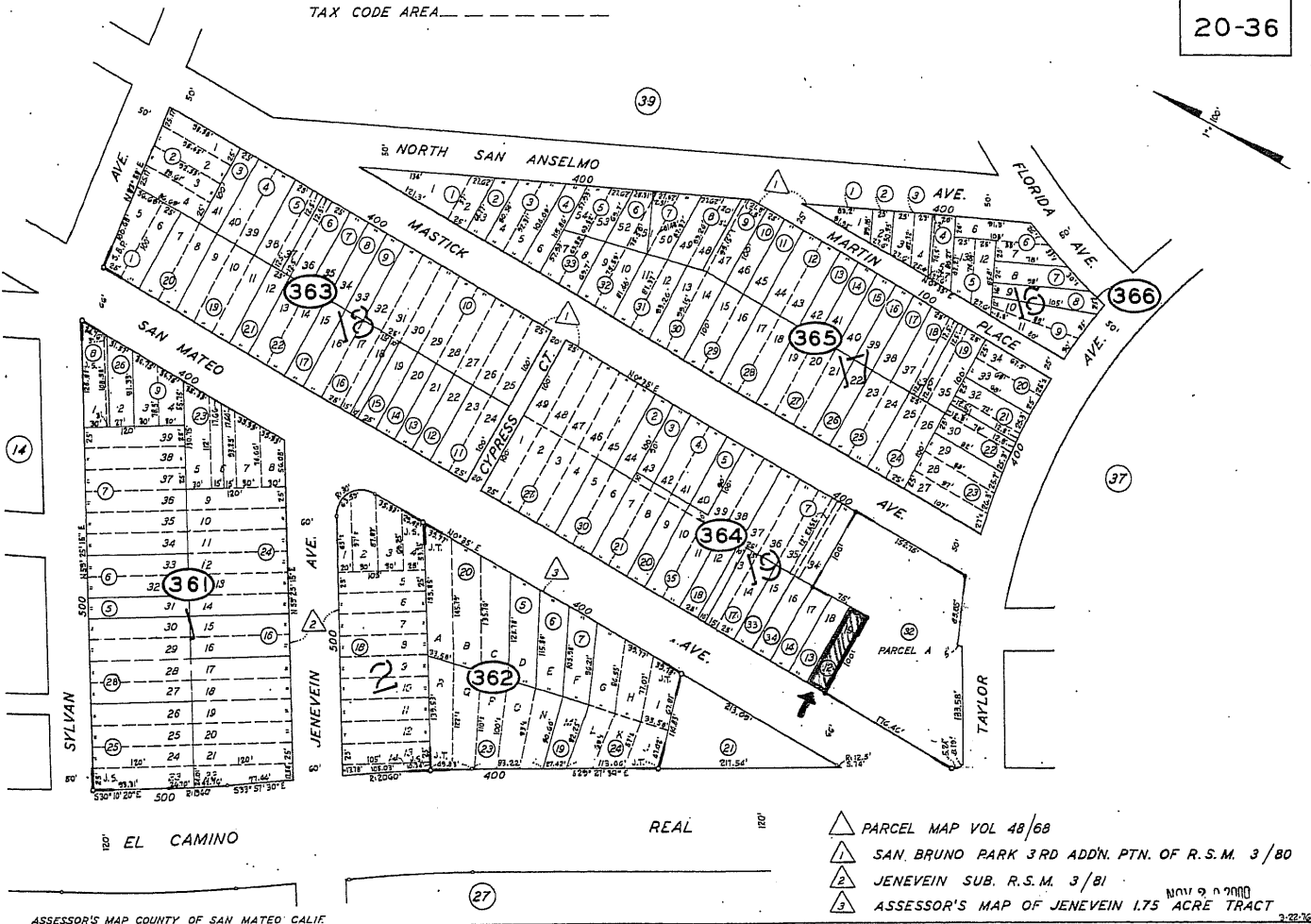
22. Provide flame spread rating for dining area and hallway wall finishes.
23. Provide panic hardware for rear exit.
24. Provide illuminated exit signs with emergency lighting.
25. Provide minimum 8" address numbers to storefront sign and 4" address numbers to rear door or above. Numbers shall be a contrasting color. The address number shall be approved with the sign permit as required per condition 5.
26. Provide illumination for rear exit pathway from building to public right of way.
27. Verify usage of mezzanine level.
28. Applicant shall be subject to all future Fire Department conditions at time of building submittal.

San Bruno Garbage

29. Garbage containers or carts must be placed on hard level surface.
30. Garbage pick up inside service charges will be applicable for container and carts that are located off-street.

Date of Preparation: February 7, 2006
Prepared by: Beilin Yu
Associate Planner

SAN BRUNO PARK 1ST ADD'N



414 San Mateo Avenue
 020-364-120
 UP-05-52; AR-05-11; PE-05-05

[illegible]

1. ALL WORKS SHALL COMPLY W/ U.S.C., U.M.C., U.P.C., N.F.C., SANITARY MUNICIPAL AND ALL APPLICABLE REQUIREMENTS.
2. ELECTRICAL, MECHANICAL, PLUMBING AND PNEUMATIC WORKS ARE DESIGN-BUILD. CONTRACTORS TO IDENTIFY AND SUBMITTING MEANS TO ACHIEVE THE DESIRED RESULTS TO THE SUSTENTATION.

	A-1	A-2	A-3	A-4	A-5	A-6
STEEL PLAN & PROJECT DATA						
DEMOLITION PLAN						
FLOOR PLANS						
EXTENSIVE ELEVATIONS						
EXTERNAL ELEVATIONS						
BUILDING SECTION						

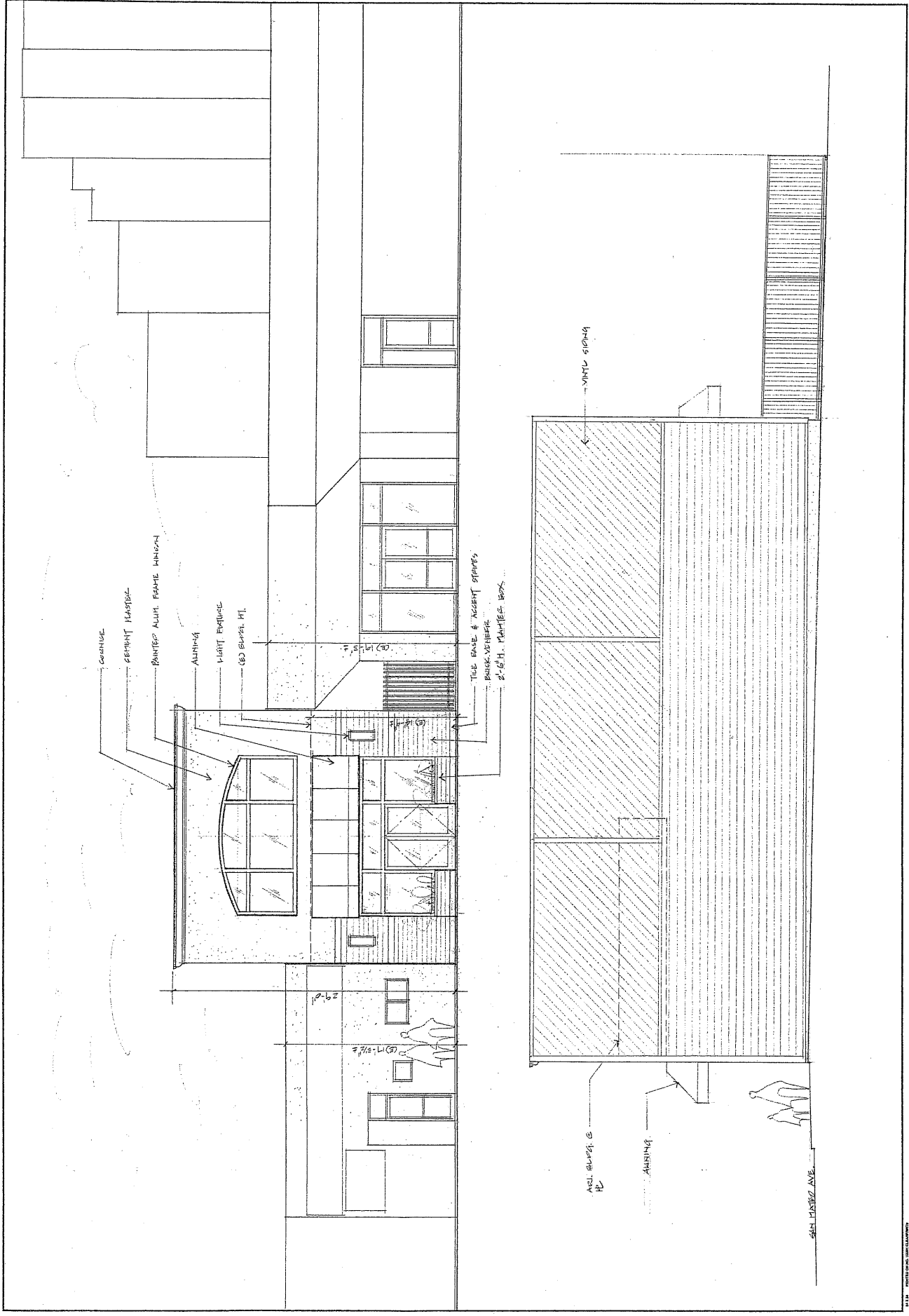
Drawn _____
 Date 1-13-06
 Sheet A-2
 of 6



REVISIONS	BY

EXTERIOR ELEVATIONS
 114 SAN MATEO AVE., SAN GABRIEL, CA. LOT 19, BLOCK 19, APR 2000 S44 120

Date: 1.15.96
 Scale: 1/4" = 1'-0"
 Drawn: FL
 Job:
 Sheet: A-4
 of 6 Sheets



REVISIONS	BY

III. BUILDING RENOVATION GUIDELINES

1. Facade Renovation

The key to successful facade renovation is to develop a design that restores the following basic building components (see Figure 14).

a. Storefront - entrance and display windows facing the street. The storefront is separated from the upper portions of the building by horizontal devices such as cornice, beltcourse, or transom, and is framed by the building piers and base (see below). For specific storefront design guidelines, see Storefront Design, below.

b. Upper story (if applicable) - appropriately proportioned and spaced windows in masonry or stucco wall. See Upper Level Treatment, below.

Many of the two-story buildings Downtown have ill-proportioned or even fully obscured second story windows, no clear division of upper story from storefront, and a completely or partially obscured building frame. Since most of the buildings Downtown are one-story structures, the renovation of the highly visible two story ones would dramatically improve the cityscape, and would visually knit together the shopping street.

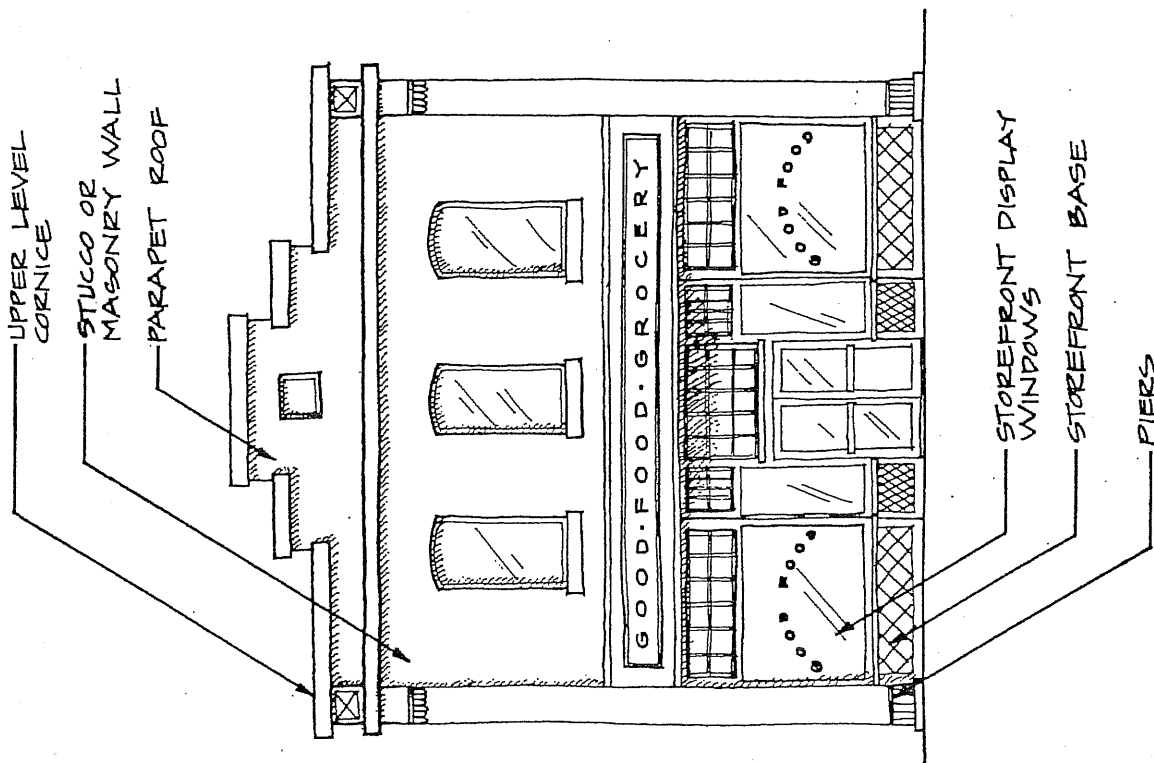


Fig. 14. Basic Building Components.

- c. The building's "cap" - parapet roof and cornice.
- d. Piers - structural columns flanking the storefront.
- e. Base - architectural treatment where the building meets the ground.

Restore or create an appropriately scaled building frame--a building's frame is defined by its piers, upper cornice, and base--by extending building piers to the cornice line, and by emphasizing piers, base and cornice with insets, and special materials or finishes. Newly constructed facades should pay special attention to the fundamental proportions and sizes of the existing building shell, and to the size and spacing of openings in the best downtown building facades.

Avoid inappropriate historical styles. Renovations that complement existing or original architecture are recommended. Complete facelifts should draw on local architectural history (and on its application to Main Street type buildings), and most preferably on attractively designed downtown buildings.

Restoration of original architectural features that are compatible with Downtown architecture is strongly encouraged. Additionally, any features that have become landmarks and that enhance the identity of the Downtown should be strongly considered for restoration.

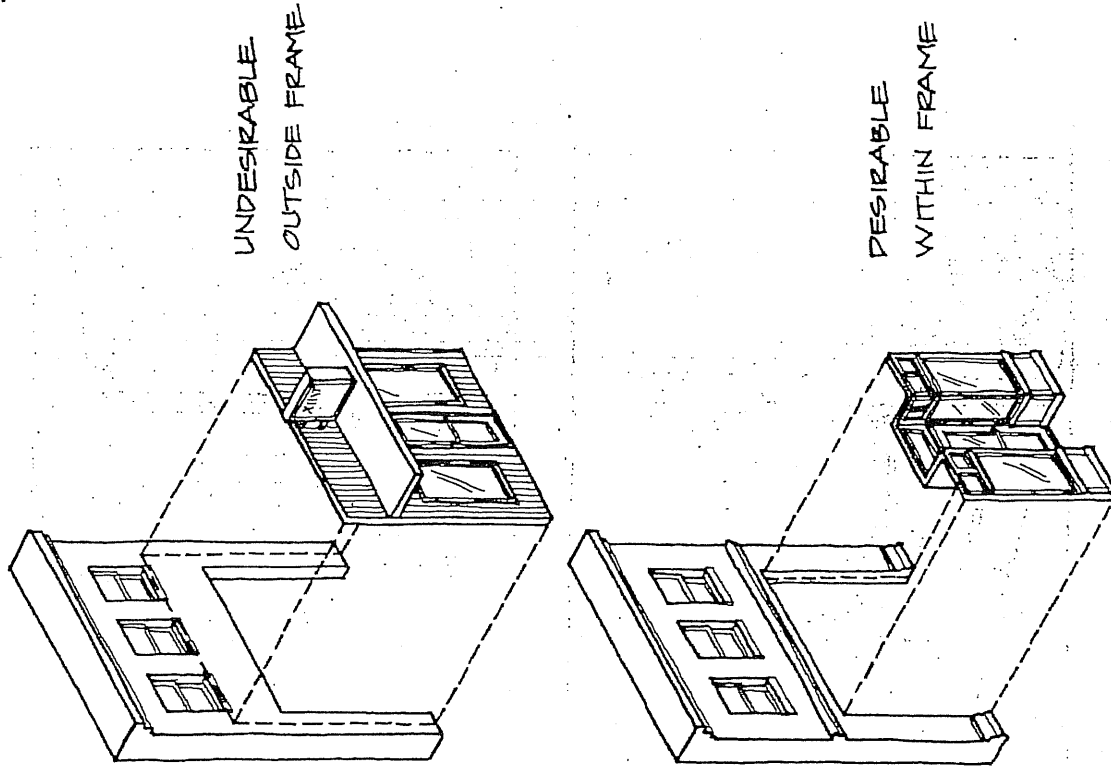


Figure 15. Building Frame

Architecture, on page 13 for a list of features to preserve, restore and repeat downtown to create a strong and authentic district identity.

Finally, for properly designed and detailed facade renovation, secure assistance of qualified professionals experienced in renovation projects of this kind.

2. STOREFRONT DESIGN

In Downtown San Bruno, storefronts are generally 20-25 feet wide; sometimes two shops fit in to this increment. This basic storefront width should be preserved and emphasized in the treatment of the facade. In the case of excessively long buildings such as San Bruno Surplus & Recreation, U.A. Offices, and the T.C.I. Supermarket, renovations should restore the 20-25 foot storefront increment by visually bringing out building piers, and by adding sign panels, and/or canopies within the building frame. Take particular care to fit the storefront design inside the building frame. In no case should any element of the storefront overlap the piers.

Quite a few of the buildings Downtown have excessively wide sign panels. When renovating, take advantage of this opportunity to add molding, beltcourse, transom, and/or canopy. If possible add clerestory windows to create (or restore) a pleasing scale to the storefront, and to

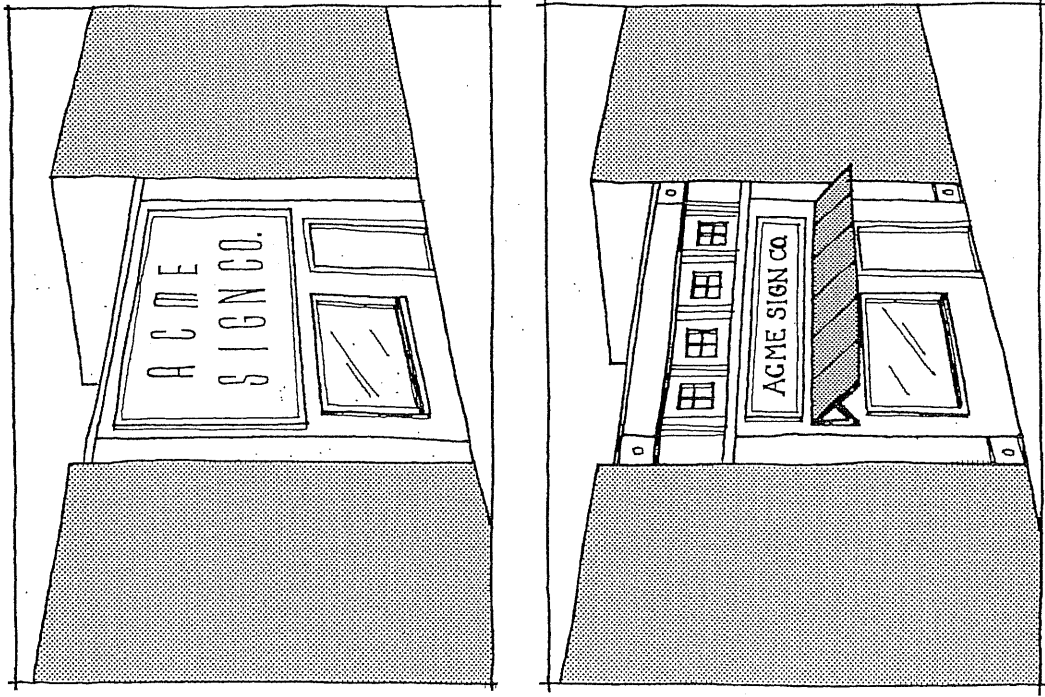


Fig. 16. Transforming buildings with excessively wide sign panels.

add natural light to the interior. Replace the oversized sign with an appropriately scaled sign that fits within the building frame, and that complements the facade design (see Signage, below).

All establishments must open directly onto the street. To avoid long expanses of inactive building frontage, maximize the number and frequency of attractively framed doors and transparent windows (rule of thumb: attempt to have at least one door in use every 25 feet).

All storefronts must include a base 1.5 to 3 ft. high. Particular care should be given to the design and materials of the base design (see Materials and Finishes, below).

Make the experience of movement along the sidewalk enjoyable and interesting. There should be a change in major compositional elements of the first-floor facade design every 25 feet or so. Colorful canvas awnings overhanging the sidewalk are recommended to further express the variety and life of the shopping street (see Awnings and Canopies, below).

Craftsmanship and detailing are particularly noticeable in pedestrian oriented districts: facade ornamentation, flower boxes, flags, banners, attractive door and window framing, ramp fixtures, stained glass, window displays, special chairs, tables or benches, and features adding color and interest to the street are recommended. Overall, emphasize the

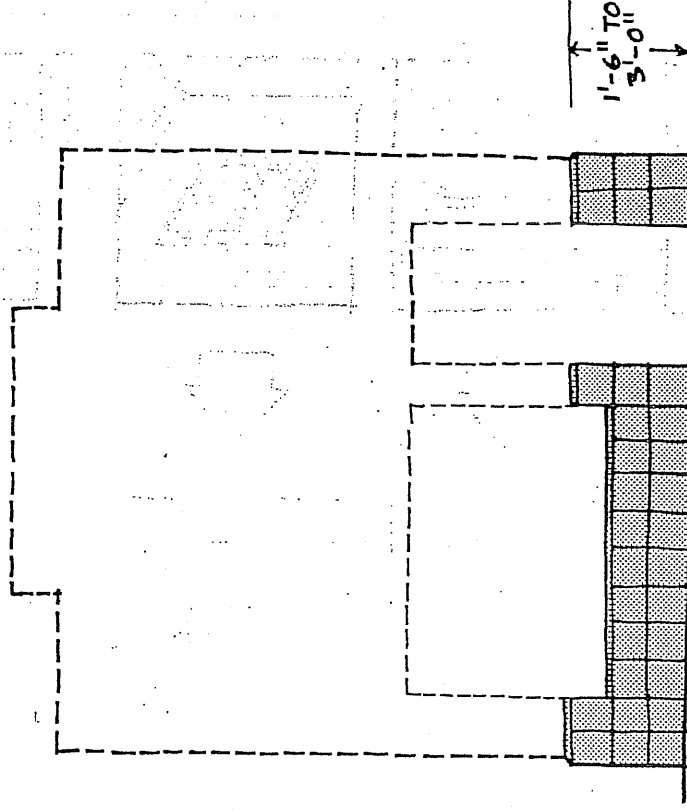


Fig. 17. All buildings must have a base.

special importance of the street level adding richer materials and detailing where the people get close to it.

To emphasize the special importance of the first floor, as well as to create high quality retail space, interior commercial space should have a minimum floor to ceiling height of 10 feet, and 12 to 15 foot ceilings are encouraged. The treatment of the exterior of the building should reflect the special proportions and the more publicly accessible nature of the ground floor space.

3. UPPER LEVEL TREATMENT

Building walls should be punctured by well-proportioned openings. More specifically:

- a. Uncover any previously boarded up or covered over upper story windows.
- b. Windows should be inset generously rather than flush with the building wall to create shade and shadow detail.
- c. The use of bare aluminum moldings is discouraged in favor of colors and materials that attractively accent the overall composition.
- d. The addition of attractive framing, sills, lintels, window boxes, etc. is recommended, particularly where existing windows have been flush mounted on the exterior wall.

4. SURFACE MATERIALS AND FINISHES

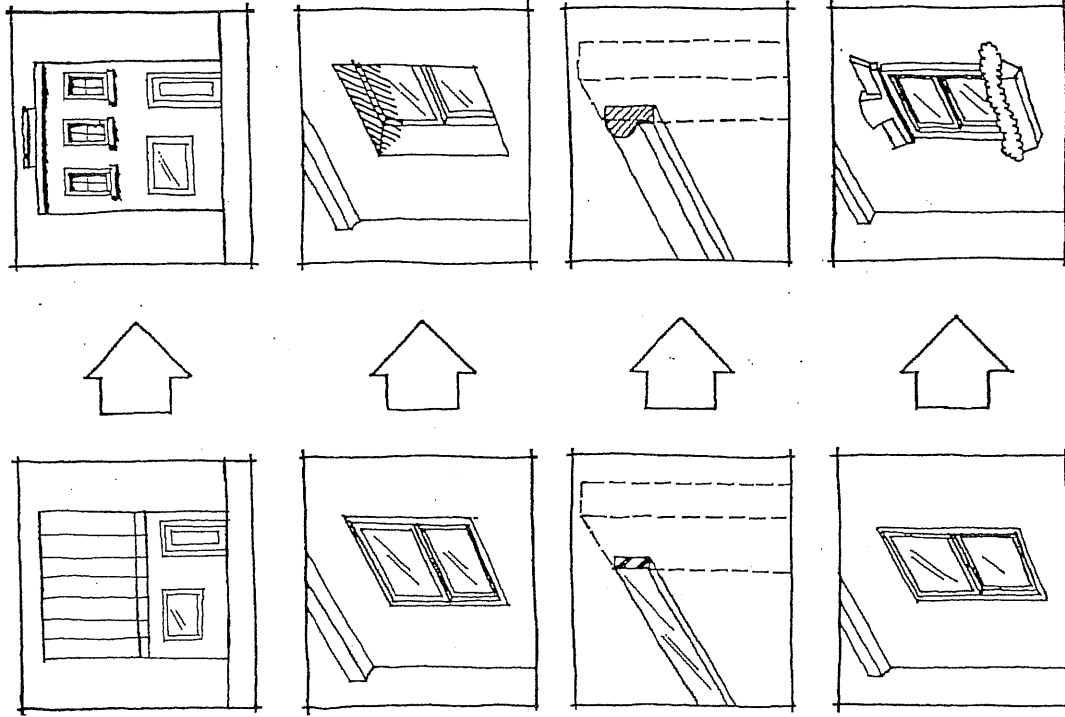


Figure 18. Window Design Guidelines

buffer between pedestrians and automobiles. Trees and shrubs should not be located between buildings and pedestrians. Well-maintained window boxes or attractive flowerpots are encouraged to add color and softness to the sidewalk space.

Street tree selection should be limited to deciduous trees with broad arching branch structure to maintain visibility of storefronts.

9. PUBLIC ART OPPORTUNITIES

The addition of art objects visible within the public areas of the downtown is encouraged. Particularly encouraged are special works that add to the fundamental materials of the Downtown such as paving designs, lighting fixtures, special seating areas or benches, wall murals, and architectural ornamentation. The size and mass of objects proposed for placement in the public right of way must be compatible with the shape and scale of the space in which they are to be located.

10. AWNINGS AND CANOPIES

The use of colorful awnings to improve existing storefronts is recommended within the following basic guidelines:

- a. Awnings should never cover building piers; they should be positioned within the building frame--fastened above the display windows and below

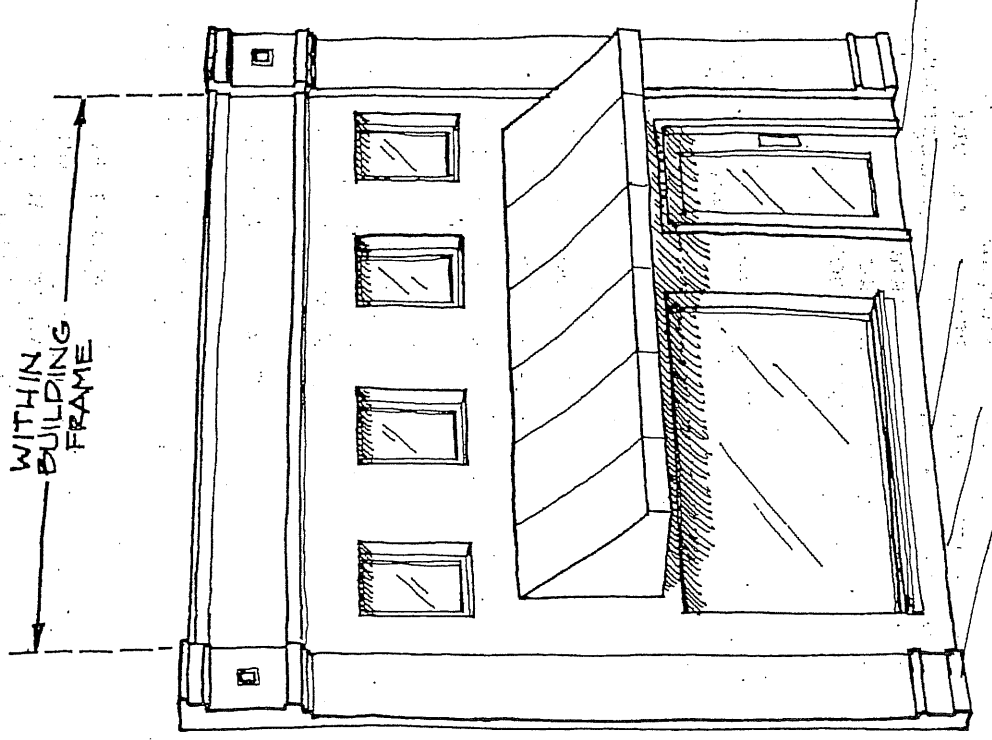


Figure 21. Position awnings and canopies within the building frame.

the storefront cornice or sign panel. If there are clerestory windows, awnings should be mounted just below them to allow sunlight to come into the store.

- b. Awnings should be mounted approximately 7 ft. (clear) above the sidewalk, and should project no more than 7 ft. from the building wall.

The appearance of permanent aluminum or wooden canopies can be improved by the addition of an awning valance.

11. BUILDINGS FACING PUBLIC PARKING LOTS

Businesses backing up onto parking lots should pay special attention to upper level treatments that display the color and variety of the Downtown district. Colorful canopies on upper level windows, wall murals, attractively designed roof forms and signage will combine to present an inviting image on approach to the district.

Where mid-block pedestrian lanes are not available for connection to San Mateo Avenue, businesses are particularly encouraged to provide attractive rear entrances. See Storefront Design and Signage sections for specific ideas for improvements.

12. BUILDINGS ALONG MID-BLOCK PEDESTRIAN LANES

Businesses adjacent to mid-block pedestrian passageways are encouraged to

- a. open out to those passageways with attractively framed windows and doorways, and
- b. to add signage oriented to the pedestrian (i.e., perpendicular to the building wall and approximately nine feet above grade).

13. BUILDINGS FACING ENTRIES TO DOWNTOWN

Buildings that form a part of the intersection of San Mateo Avenue and El Camino Real (south entry) or of San Mateo Avenue and Huntington Avenue (north entry) must pay special attention to upper level treatment in order that it be recognizable from a distance as the edge of a shopping district (e.g. colorful canopies on all upper windows, special treatment of building entrance way, interesting roof forms, special accents, etc.). Particular care must be exercised in insuring compatibility with buildings flanking the opposite sides of entry intersections.

14. BUILDINGS ALONG LAYNE PLACE

Buildings flanking entrances to Layne Place at San Mateo Avenue and West Avenue intersections are encouraged to add